



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-015

Data Relative to Subject Property:

Date:

Location address: 4859 Corrigan Zoning District: R7-1.5

Lot No.: 1-C Block No.: 44/5845 Acreage: 0.37 Census Tract: \_\_\_\_\_

Street Frontage (in Feet): 1) 50' 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Maribel Sanchez Amaya

Applicant: Blanca Cardenas Telephone: 469 596 1545

Mailing Address: 745 Clearwood Dr. Zip Code: 75232

E-mail Address: sblancardenas20@gmail.com

Represented by: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Affirm that an appeal has been made for a Variance  or Special Exception  of requesting a special front setback of 15' FT proposing a 10' FT setback in front yard. bc

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

due to minor flood plain issue we are requesting special setbacks for this property

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

### Affidavit

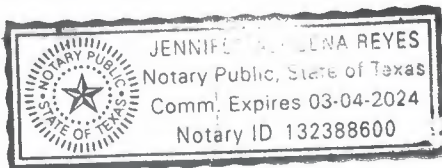
Before me the undersigned on this day personally appeared Blanca Cardenas

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: Blanca Cardenas  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 27 day of November, 2023



Jenny Reyes  
Notary Public in and for Dallas County, Texas

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

**I hereby certify that** BLANCA CARDENAS

**did submit a request** for (1) a variance to the front-yard setback regulations  
**at** 4859 Corrigan

BDA234-015. Application of BLANCA CARDENAS for (1) a variance to the front-yard setback regulations at 4859 CORRIGAN DR. This property is more fully described as 44/5845, Lot 1C, and is zoned R-7.5(A), which requires a front-yard setback of 25-feet. The applicant proposes to construct and/or maintain a single-family residential structure and provide a 10- foot front-yard setback, which will require (1) a 15-foot variance to the front-yard setback regulations.

Sincerely,

  
Andrew Espinoza, CBO, MCP, CFM, CCEA



CITY OF DALLAS  
AFFIDAVIT

Appeal number: BDA 234-015

I, Ramiro Lopez Cantu, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4859 Corrigan Av.  
(Address of property as stated on application)

Authorize: Blanca Cadenas  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: requesting a special front setback of 10' bc. due to a flood plain issue  
Proposing a 10 FT set back in front yard.

Ramiro Lopez Cantu  
Print name of property owner or registered agent

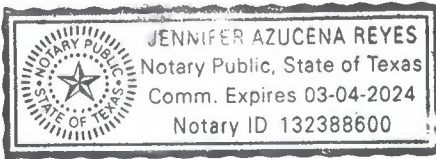
Ramiro Cantu L.  
Signature of property owner or registered agent

agent Date 11-27-2023

Before me, the undersigned, on this day personally appeared Ramiro Lopez Cantu

Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this 27 day of November, 2023



Jennifer Reyes  
Notary Public for Dallas County, Texas

Commission expires on 03/04/2024



CITY OF DALLAS  
AFFIDAVIT

Appeal number: BDA 234-015

I, Maribel Sanchez Amaya, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4859 Corrigan Av.  
(Address of property as stated on application)

Authorize: blanca Cardenas  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: requesting a special front setback of 15' bc. proposing a 10 FT set  
due to a flood plain issues back in front yard.

Maribel Sanchez Amaya  
Print name of property owner or registered agent

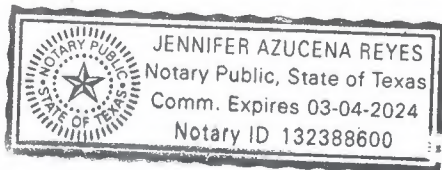
Maribel Cantu  
Signature of property owner or registered agent

agent Date 11-27-2023

Before me, the undersigned, on this day personally appeared Maribel Sanchez Amaya

Who on his/her oath certifies that the above statements are true and correct to his/her best

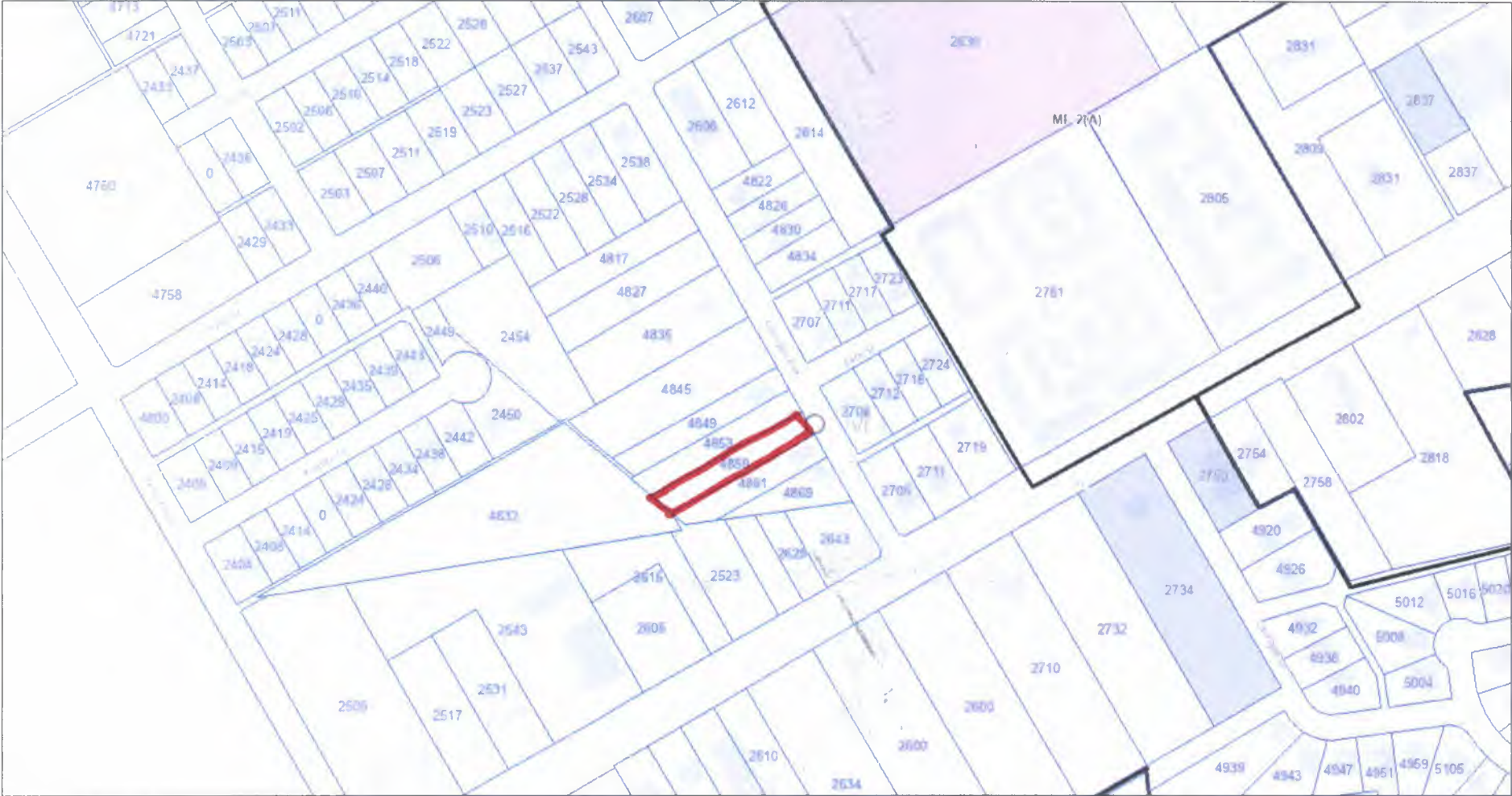
knowledge. Subscribed and sworn to before me this 27 day of November, 2023



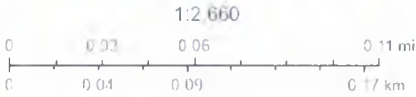
Jennifer Reyes  
Notary Public for Dallas County,  
Texas

Commission expires on 03/04/2023

ArcGIS Web Map



12/6/2023, 3:08:07 PM



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, OpenStreetMap contributors, and the GIS User Community

BDA234-015

STOPPED DATE: 8-15-96 RECEIVED DATE: 11-22-96  
 ANNEXED OCT. 3 1945 ORD. NO. 3703  
 SURVEY JAMES K. SLOAN ABST. 1310

CITY OF DALLAS PLAT BOOKS  
 ADDITION KESSLER HEIGHTS NO. 3  
 SCALE 100 FT. EQUALS 1 INCH

44-44A  
 BLOCKS 5845  
 SCHOOL DIST. DALLAS

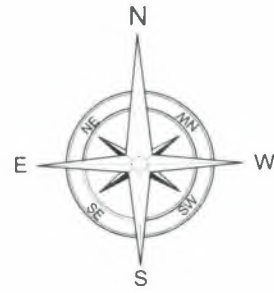
RECORDED 5-20-37



NOTE:  
 RADIUS ON CORNERS ARE 15'  
 DIMENSIONS ARE TO  
 BLOCK CORNERS.  
 LOT NUMBERS CIRCLED THUS: (56)  
 NOT OF RECORD.

TRUE AND CORRECT  
 COPY OF RECORD  
 ON FILE IN CITY  
 SURVEYORS OFFICE  
 BY: *Amy Bullock*  
 DATE: 11-28-2013

BDA234-015



AREA DISTRIBUTION		
1	PROPOSED LIVING 1st STORY	1,670 SQ. FT.
2	PROPOSED FRONT PORCH	138 SQ. FT.
3	PROPOSED LIVING 2nd STORY	1,240 SQ. FT.
4	PROPOSED BALCONY	40 SQ. FT.
5	TOTAL PROPOSED COVERAGE	3,208 SQ. FT.
6	TOTAL PROPOSED LIVING AREA	3,030 SQ. FT.
7	LOT AREA	16,243 SQ. FT.
	% LOT COVERAGE	18.65 %

**LEGAL DESCRIPTION**

BEING LOT 1-C, BLOCK 44/5845 OF ADAMS SUBDIVISION, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS



**SITE PLAN**  
SCALE 1" = 20'



rcplans@outlook.com

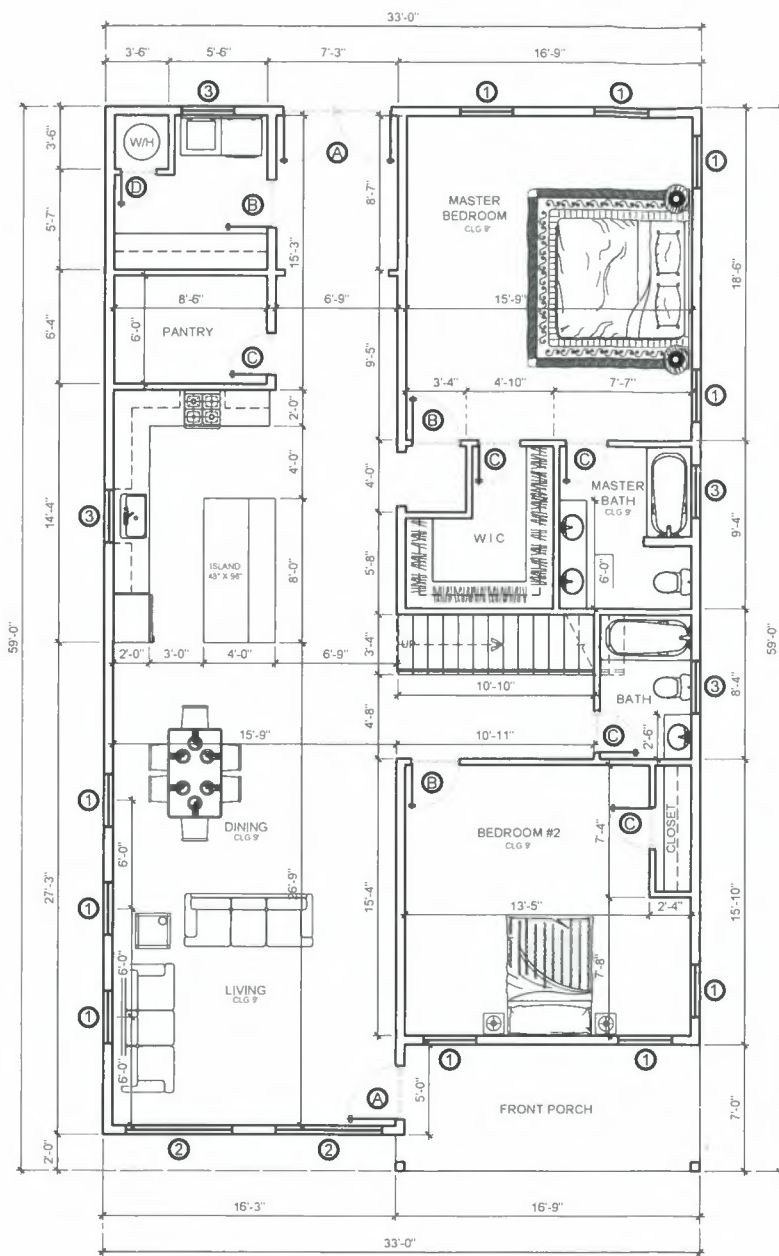
All the information in these plans is provided by the client and I or builder, the designer only limits himself to draw required plans for building permits and doesn't supervise construction or control of quality of materials, therefore the designer does not assume any type of responsibility derived from this project. The project owner is recommended to have professional supervision of a qualified architect or engineer for the review of plans and building's construction.

USE: RESIDENTIAL NEW CONSTRUCTION  
 PLAN: SITE PLAN  
 DRAWN BY: RC PLANS  
 DATE: 11/28/2023  
 SCALE: 1" = 30'

ADDRESS:  
 4859  
 CORRIGAN  
 AVENUE  
 DALLAS  
 TX 75216

PAGE NUMBER:  
 01

BDA 234-015

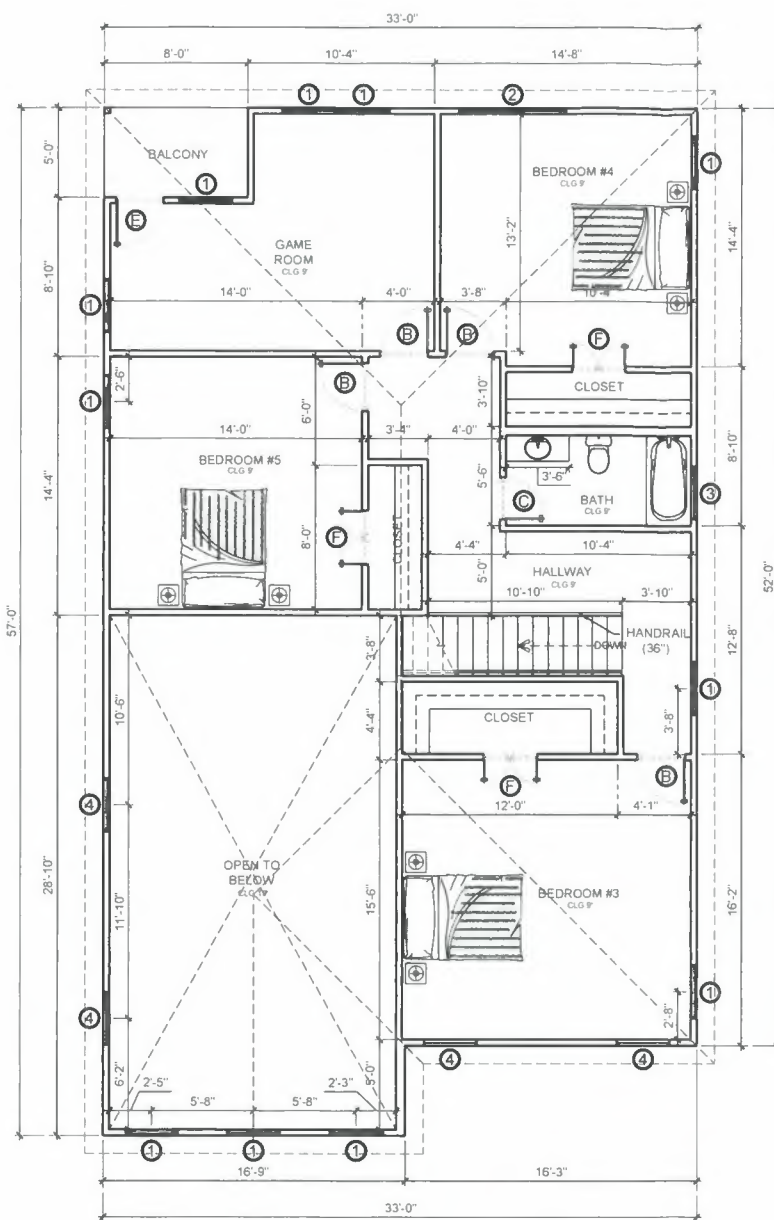


**FLOOR PLAN**  
**1st STORY**

SCALE 3/32" = 1'-0"

WINDOWS SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
1	3'-0" X 5'-0"	21	SH
2	6'-0" X 6'-0"	3	SH
3	3'-0" X 3'-0"	4	SH
4	3'-0" X 2'-0"	4	SH

SH = SINGLE HUNG



**FLOOR PLAN**  
**2nd STORY**

SCALE 3/32" = 1'-0"

DOORS SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
A	3'-0" X 8'-0"	3	SHS
B	2'-8" X 6'-8"	7	SHS
C	2'-4" X 6'-8"	6	SHH
D	2'-0" X 6'-8"	1	SHH
E	2'-8" X 8'-0"	1	SHH
F	1'-6" X 6'-8"	6	SHH

SHS = SINGLE HINGED SOLID CORE  
SHH = SINGLE HINGED HOLLOW CORE

**IECC 2015 GREEN/ENERGY CODE COMPLIANCE FOR HOME**

ALL GREEN/ENERGY SYSTEMS MUST MEET THE REQUIREMENTS FROM THE CHAPTER 4 OF THE INTERNATIONAL ENERGY CONSERVATION CODE, REFERED TO RESIDENTIAL ENERGY EFFICIENCY. IF ANY ITEM IS NOT LISTED BELOW REFER TO THE MENTIONED CHAPTER.

- STORMWATER:**
  - 1.1. 70% OF NON-ROOF AREA HAS VEGETATIVE LANDSCAPE, PERMEABLE PAVING OR SLOPED FOR RUNOFF TO A PERMANENT FILTRATION FEATURE.
- WATER EFFICIENCY:**
  - 2.1. LAVATORY FAUCETS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
  - 2.2. SHOWERS HEADS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
  - 2.3. TOILETS MUST HAVE AN AVERAGE FLOW RATE OF:
    - 2.3.1. LESS THAN OR EQUAL TO 1.3 GALLONS PER FLUSH.
    - 2.3.2. DUAL FLUSH COMPLYING WITH ASME A 112.19.14.
    - 2.3.3. COMPLY WITH US EPA WATER SENSE.
  - 2.4. ENERGY STAR DISHWASHER.
  - 2.5. ENERGY STAR CLOTHES WASHER.
- HEAT ISLAND MITIGATION:**
  - 3.1. ENERGY STAR QUALIFIED ROOF SYSTEM FOR ROOF WITH SLOPE OF 2:12 OR GREATER.
  - 3.2. RADIANT BARRIER IN ATTIC WITH CONVENTIONAL SHINGLES.
  - 3.3. ENCAPSULATED FOAM INSULATION BETWEEN THE ROOF RAFTERS (R-22 OR GREATER).
  - 3.4. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.
  - 3.5. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.
  - 3.6. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.
  - 3.7. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.
- DUCTS AND AIR SEALING**
  - 4.1. DUCTS MUST BE TESTED AND VERIFIED TO HAVE TOTAL LEAKAGE OF NO MORE THAN 4 FT<sup>3</sup>/MIN PER 100 SQUARE FOOT (OR 3 CFM IF AIR HANDLER IS NOT INSTALLED), EXCEPT WHERE AIR HANDLER AND ALL DUCTS ARE LOCATED INSIDE CONDITIONED SPACE. AIR HANDLERS AND FILTER BOXES MUST ALSO BE PROPERLY SEALED.
  - 4.2. HVAC AND DUCTWORK LOCATED OUTSIDE OF FIRE RATED ENVELOPE OF GARAGE.
  - 4.3. THE BUILDING ENVELOPE IS REQUIRED TO BE PROPERLY SEALED AND TESTED, AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NO HIGHER THAN 3 ACH AT 0.20 INCH W.G. (50 PASCALS).
  - 4.4. SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE SEALED AND INSULATED WITH R-8 WHEN DUCTS IS 3" OR GREATER, R-6 WHEN 3" OR LESS AND EXEMPT WHEN COMPLETELY INSIDE CONDITIONED SPACE.
- INSULATION:**
  - 5.1. ALL WINDOWS FENESTRATION U-FACTOR FOR DALLAS MUST BE 0.35, SKYLIGHT U-FACTOR 0.55 AND GLAZED FENESTRATION SHGC 0.25.
  - 5.2. CEILINGS MUST BE INSULATED WITH R-38, IF NO ATTIC SPACE R-30, THIS REDUCTION IS LIMITED TO 500 SQUARE FEET (46 M<sup>2</sup>) OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.
  - 5.3. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
  - 5.4. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CANITY OR R-13 CANITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.
  - 5.5. CRAWL SPACE WALLS MUST BE INSULATED WITH T-5 CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.
  - 5.6. PIER AND BEAM OR ANY OTHER RAISED FLOOR SYSTEM MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.
- HVAC SYSTEMS**
  - 6.1. TEMPERATURE CONTROLS MUST BE INSTALLED, INCLUDING A PROGRAMMABLE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM. MECHANICAL SYSTEM PIPING MUST BE INSULATED TO A MINIMUM OF R-3. HOT WATER PIPING ½" IN DIAMETER OR LARGER AND ALL HOT WATER PIPING IN CERTAIN APPLICATIONS MUST BE INSULATED TO R-3.
  - 6.2. PIPES CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R-13.
  - 6.3. LIGHTNING:
  - 6.4. A MINIMUM OF 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES MUST BE HIGH-EFFICACY AS DEFINED IN THE IECC.

**CURRENT CITY CODES:**

- 2015 International Building Code
- 2015 International Residential Code
- 2015 International Energy Conversational Code
- 2015 International Fuel Gas Code
- 2015 International Mechanical Code
- 2015 International Plumbing Code
- 2015 International Existing Building Code
- 2015 International Fire Code
- 2017 National Electrical Code

**RC PLANS**  
DESIGN AND DRAFTING

rcplans@outlook.com

All the information in these plans is provided by the client and / or builder, the designer only limits himself to draw required plans for building permits and doesn't supervise construction or control of quality of materials, therefore the designer does not assume any type of responsibility derived from this project. The project owner is recommended to have professional supervision of a qualified architect or engineer for the review of plans and building's construction.

RESIDENTIAL NEW CONSTRUCTION	FLOOR PLAN	RC PLANS	01/28/2023	3/32" = 1'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:

4859 CORRIGAN AVE,  
DALLAS TX  
75216

PAGE NUMBER:

**03**

*BDA23A-015*



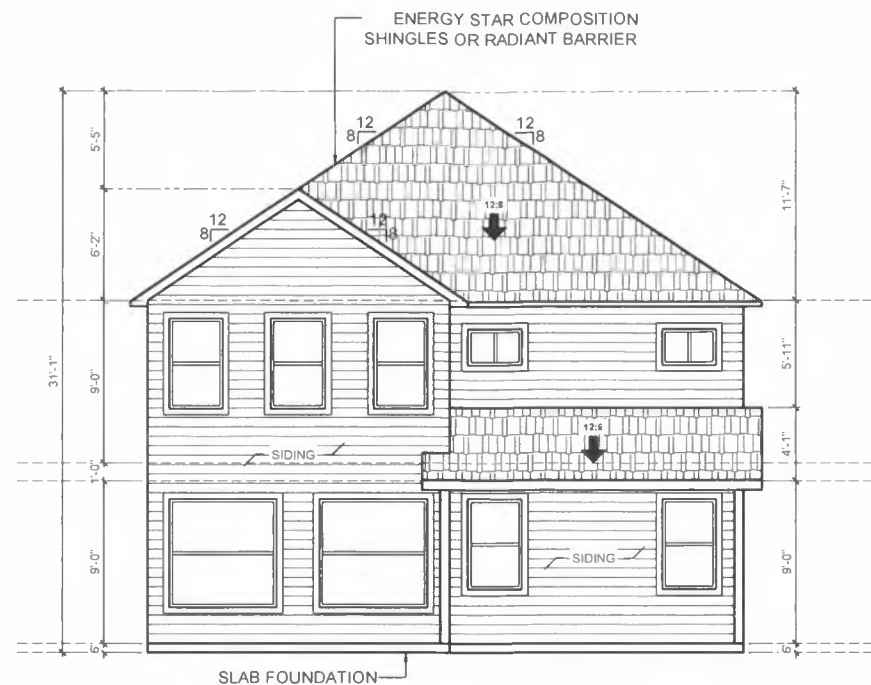
rcplans@outlook.com

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RESIDENTIAL NEW CONSTRUCTION	ELEVATIONS	RC PLANS	01/28/2023	3/32" = 1'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

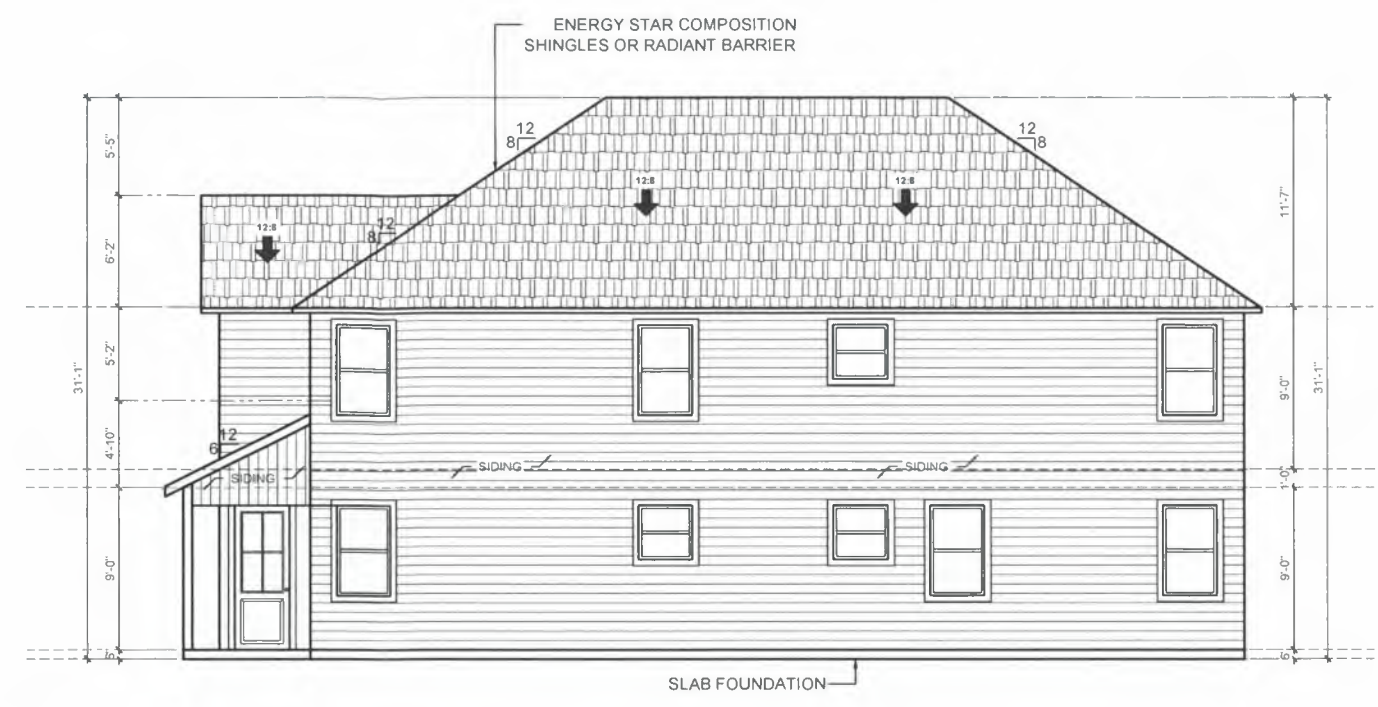
ADDRESS:  
  
4859 CORRIGAN AVE,  
DALLAS TX  
75216

PAGE NUMBER:  
  
**04**



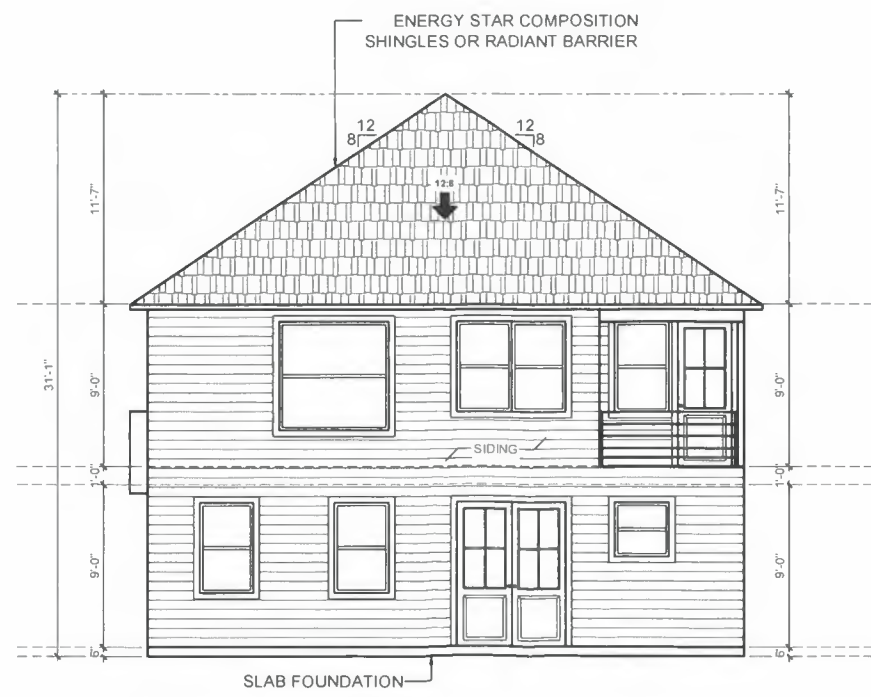
**FRONT ELEVATION**

SCALE 3/32" = 1'-0"



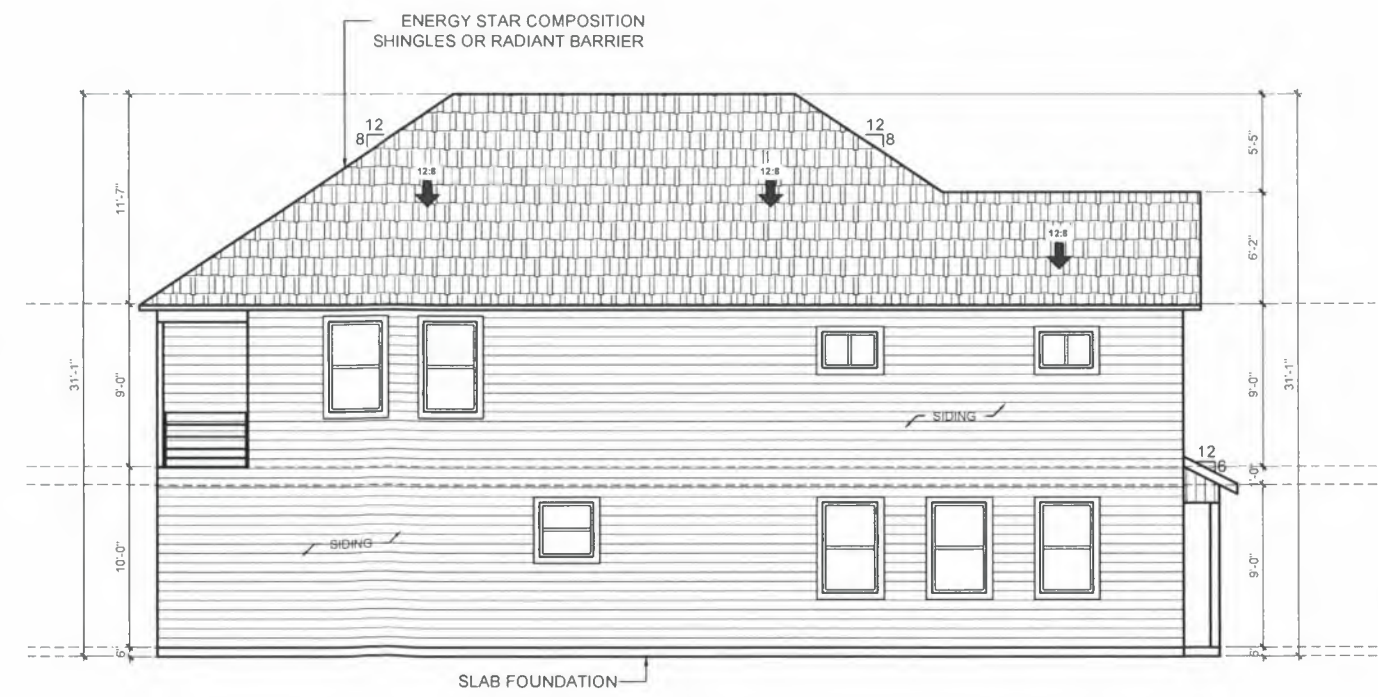
**RIGHT ELEVATION**

SCALE 3/32" = 1'-0"



**REAR ELEVATION**

SCALE 3/32" = 1'-0"



**LEFT ELEVATION**

SCALE 3/32" = 1'-0"

BDA234-015