



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 234-014 RECEIVED
Date: FOR DECCO USE ONLY

Data Relative to Subject Property: _____
Location address: 4468 Twin Post Road Zoning District: R-16(A)
Lot No.: Lot 7 Block No.: 9/8396 Acreage: .36 Census Tract: 48113009603
Street Frontage (in Feet): 1) 135 2) 114 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): David Lance and Rebecca E Currie

Applicant: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B Dallas, Texas Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Represented by: Rob Baldwin Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas, Texas Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Affirm that an appeal has been made for a Variance or Special Exception of sight visibility triangle requirements.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The owner proposes to install a new wooden fence along the side yard (Schreiber Drive) and along a portion of the alley. The fence will slightly encroach into the driveway and alley visibility triangles. We feel that this is a reasonable request and will not negatively impact the surrounding neighbors.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Rob Baldwin

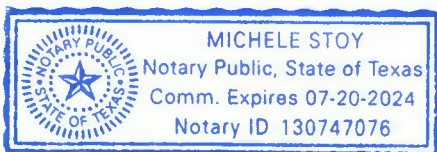
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: _____
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 16 day of November, 2023

Michele Stoy
Notary Public in and for Dallas County, Texas



MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that BALDWIN ASSOCIATES

did submit a request for (1) a special exception to the 20-foot visibility obstruction regulations
at 4468 Twin Post Rd.

BDA234-014. Application of BALDWIN ASSOCIATES for (1) a special exception to the 20-foot visibility obstruction regulations at 4468 TWIN POST RD. This property is more fully described as Blcok 9/8396, Lot 7 and is zoned R-16(A), which requires a 20-foot visibility triangle at the connection of a street and alley. The applicant proposes to construct and/or maintain a single-family residential fence structure in a required visibility obstruction triangle, which will require (1) a special exception to the 20-foot visibility obstruction regulation.

Sincerely,


Andrew Espinoza, CBO, MCP, CFM, CCEA



Appeal number: BDA 234-014

I, D. Lance Currie, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4468 Twin Post Road
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates, LLC
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Request for a Special Exception to allow fence to encroach into the sight visibility triangles.

David "Lance" Currie
Print name of property owner or registered agent
Date 11-15-23

[Signature]
Signature of property owner or registered agent

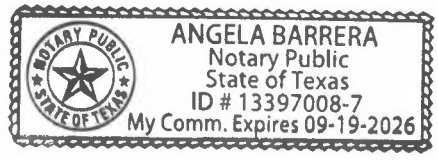
Before me, the undersigned, on this day personally appeared DAVID "LANCE" CURRIE

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 15th day of November, 2023

[Signature]
Notary Public for Dallas County, Texas

Commission expires on 9/19/2024




CITY OF DALLAS
AFFIDAVIT

Appeal number: BDA 234-014

I, Rebecca Currie, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4468 Twin Post Road
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates, LLC
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Request for a special exception to allow fence to encroach into sight visibility triangles.

Rebecca Currie
Print name of property owner or registered agent

Rebecca Currie
Signature of property owner or registered agent

Date 11-16-23

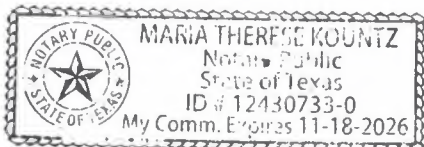
Before me, the undersigned, on this day personally appeared Rebecca Currie

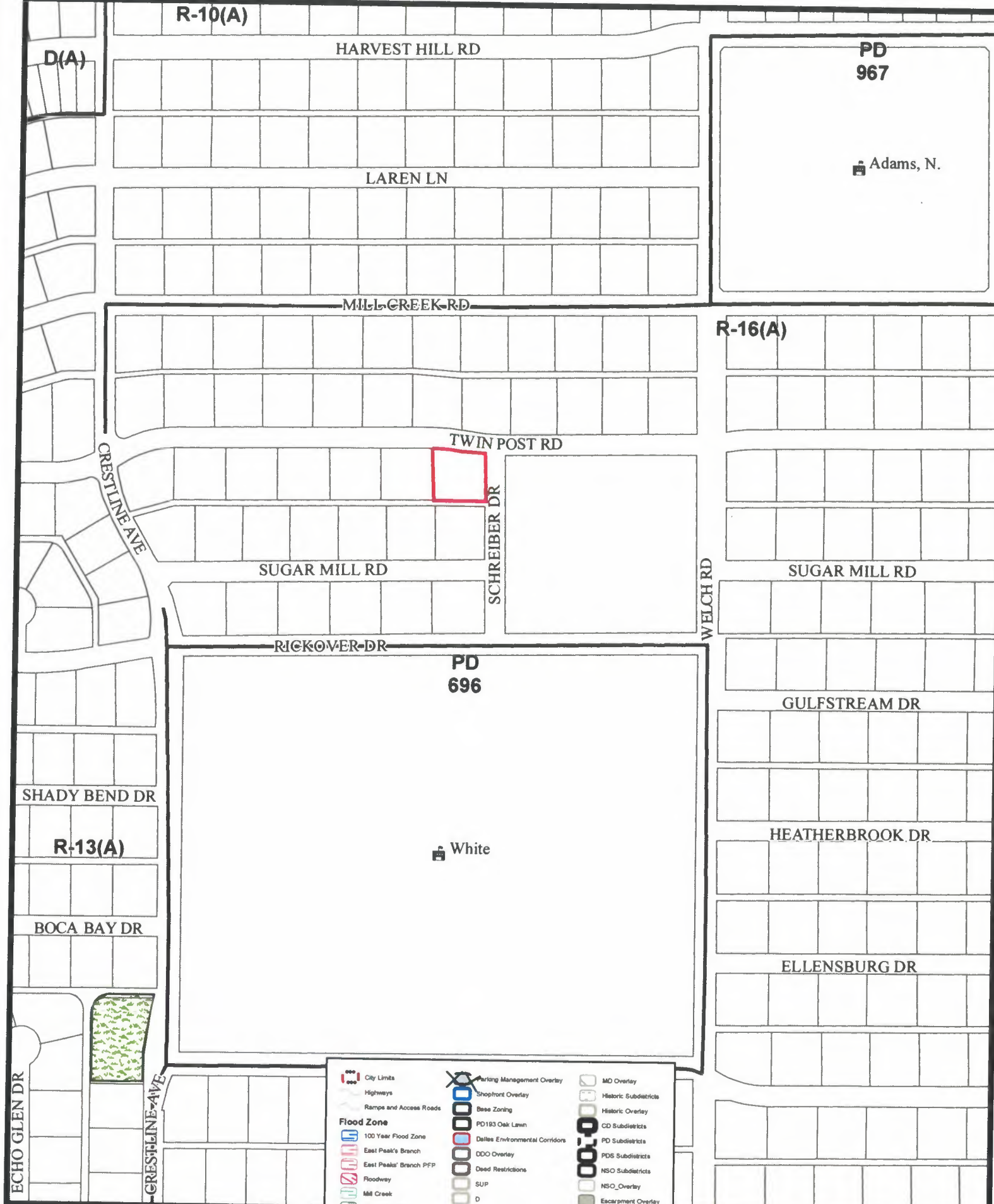
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 16th day of November, 2023

[Signature]
Notary Public for Dallas County, Texas

Commission expires on 11-18-2026



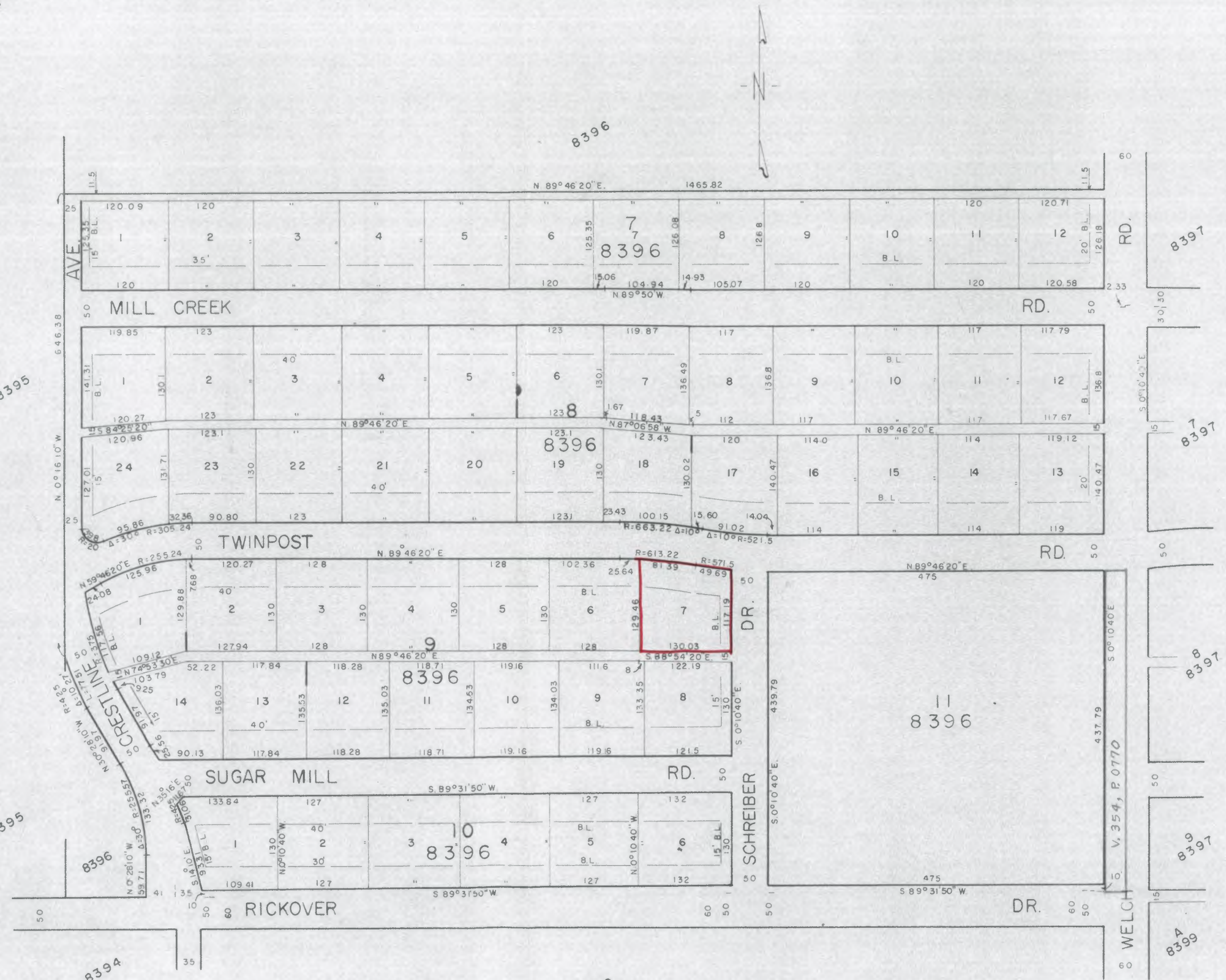
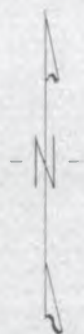


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	City Limits		Periling Management Overlay		MO Overlay
	Highways		Shopfront Overlay		Historic Subdistricts
	Ramps and Access Roads		Base Zoning		Historic Overlay
	Flood Zone		PD183 Oak Lawn		CD Subdistricts
	100 Year Flood Zone		Dalles Environmental Corridors		PD Subdistricts
	East Peak's Branch		ODO Overlay		PDS Subdistricts
	East Peak's Branch PFP		Deed Restrictions		NSO Subdistricts
	Roadway		SUP		NSO_Overlay
	Mill Creek		D		Escarpment Overlay
	Mill Creek PFP		D-1		
	Peak's Branch		CP		
	Peak's Branch PFP		SP		
	X Protected by Levee				
	Parks				
	Height Map Overlay				

Case ID: BDA234-014
 Printed: 11/13/2023

FILED: 3-19-65



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BDA 234-014



STUDIO EL3

ERIC LAPOINTE
ARCHITECT
414.477.9402
evlapointe@yahoo.com

4468
TWIN POST RD.
DALLAS, TX.
75244

REVISIONS

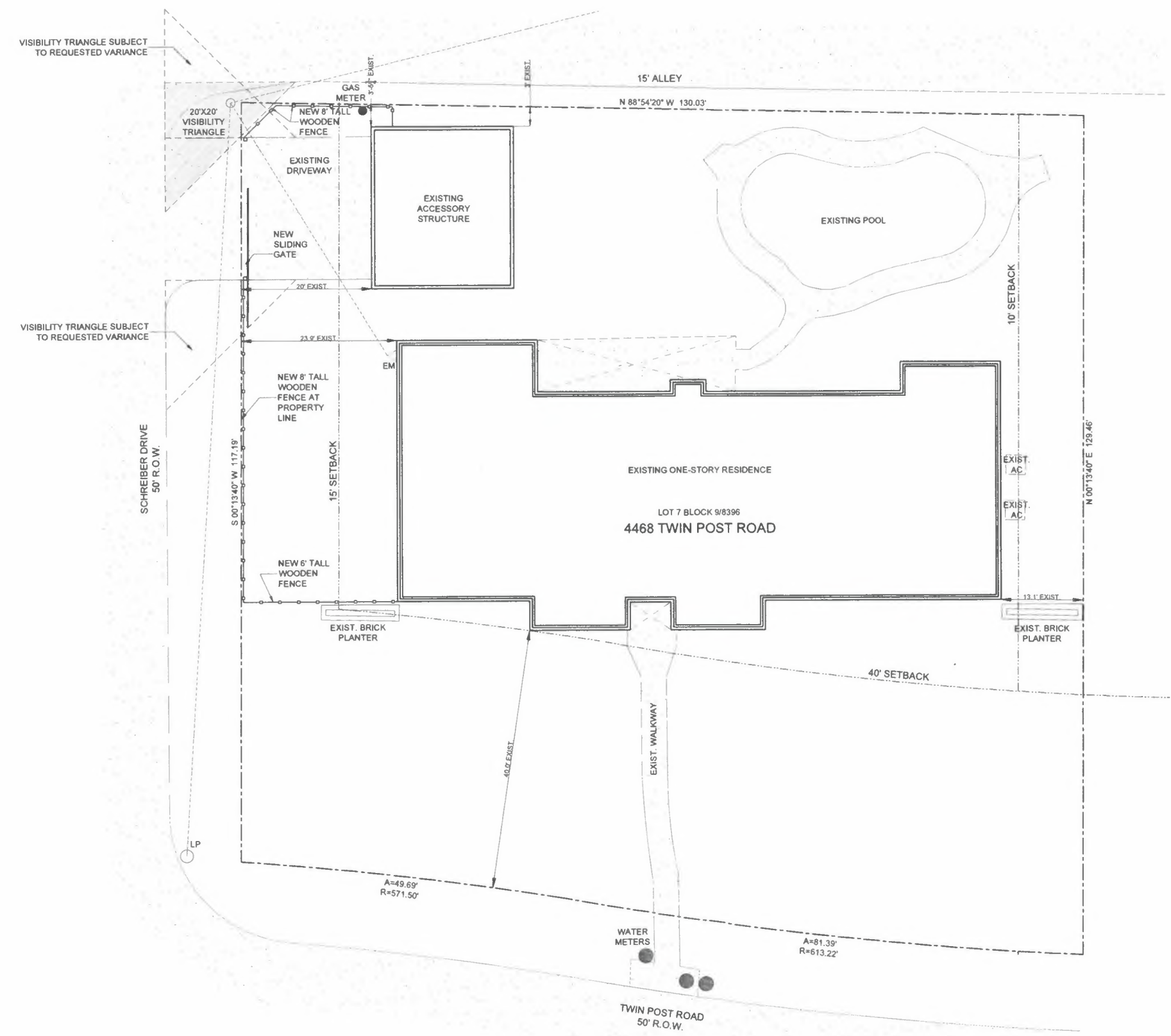
PROJECT TITLE
TWIN POST RESIDENCE
LOT 7, BLOCK 9/8396

DATE
11.15.2023

ISSUE
PERMIT SET

SHEET TITLE
SITE PLAN

SHEET NO. **1.0**



1 SITE PLAN
SCALE: 1/8" = 1'-0"



BDA234-OK4